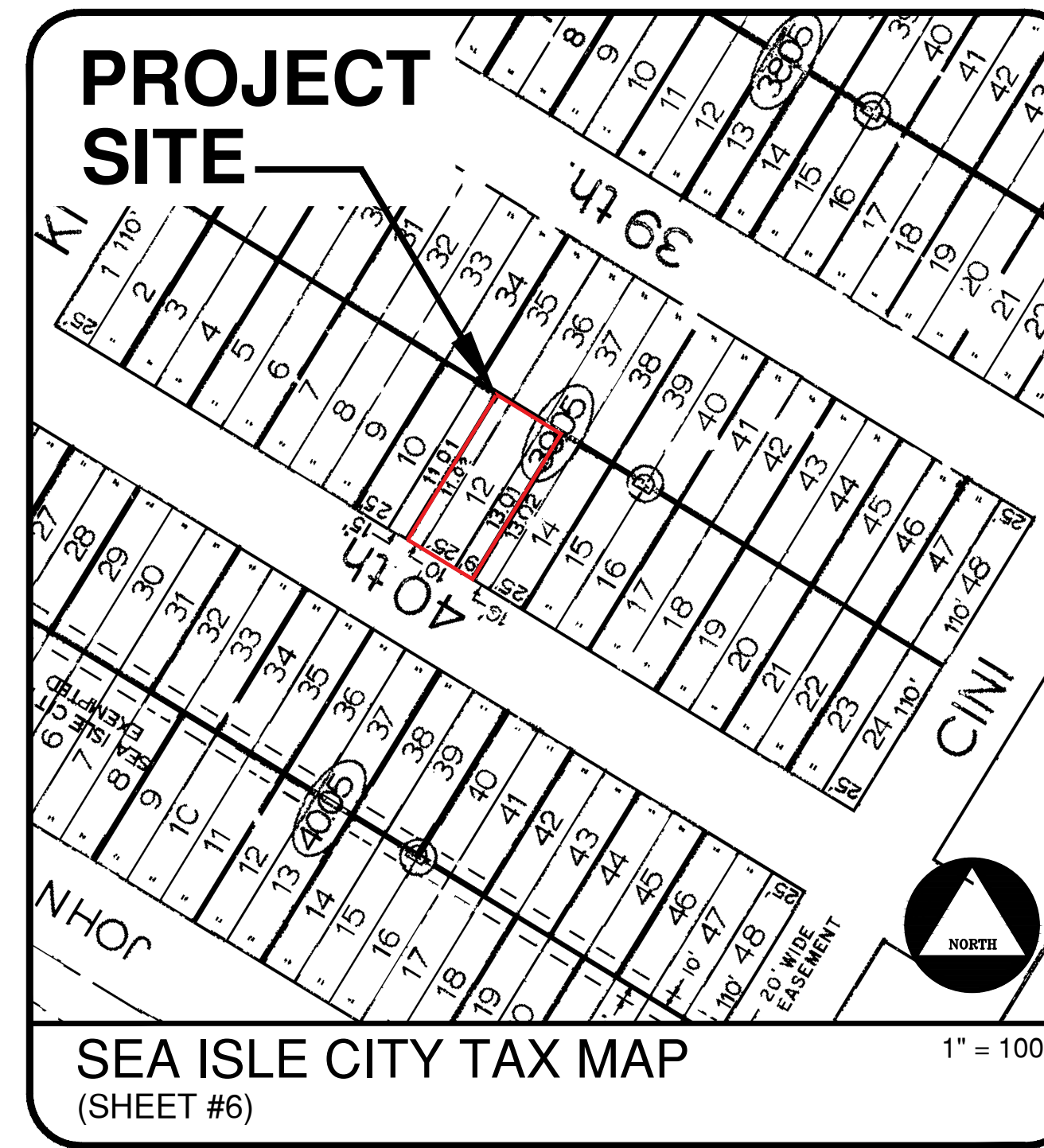
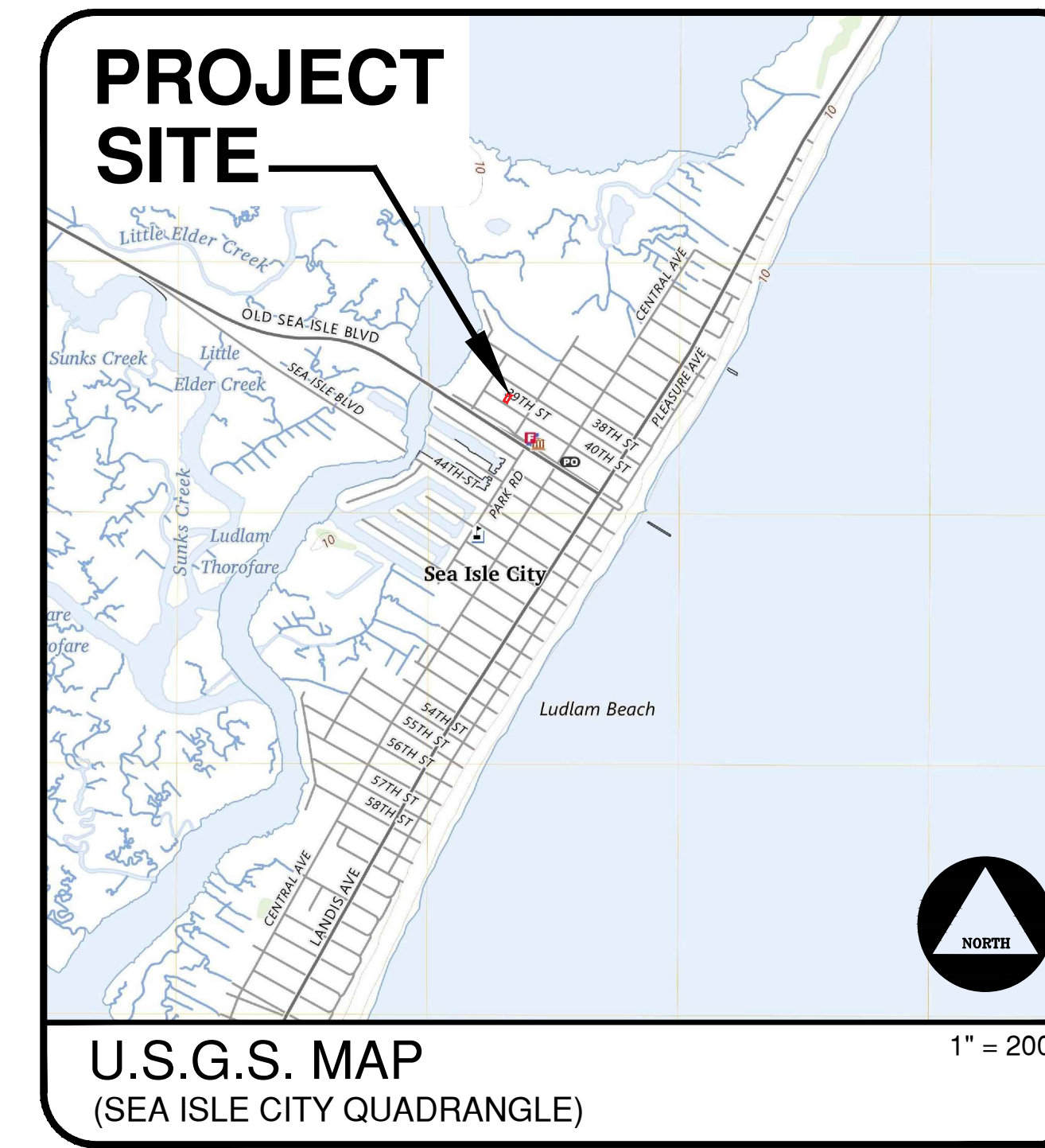




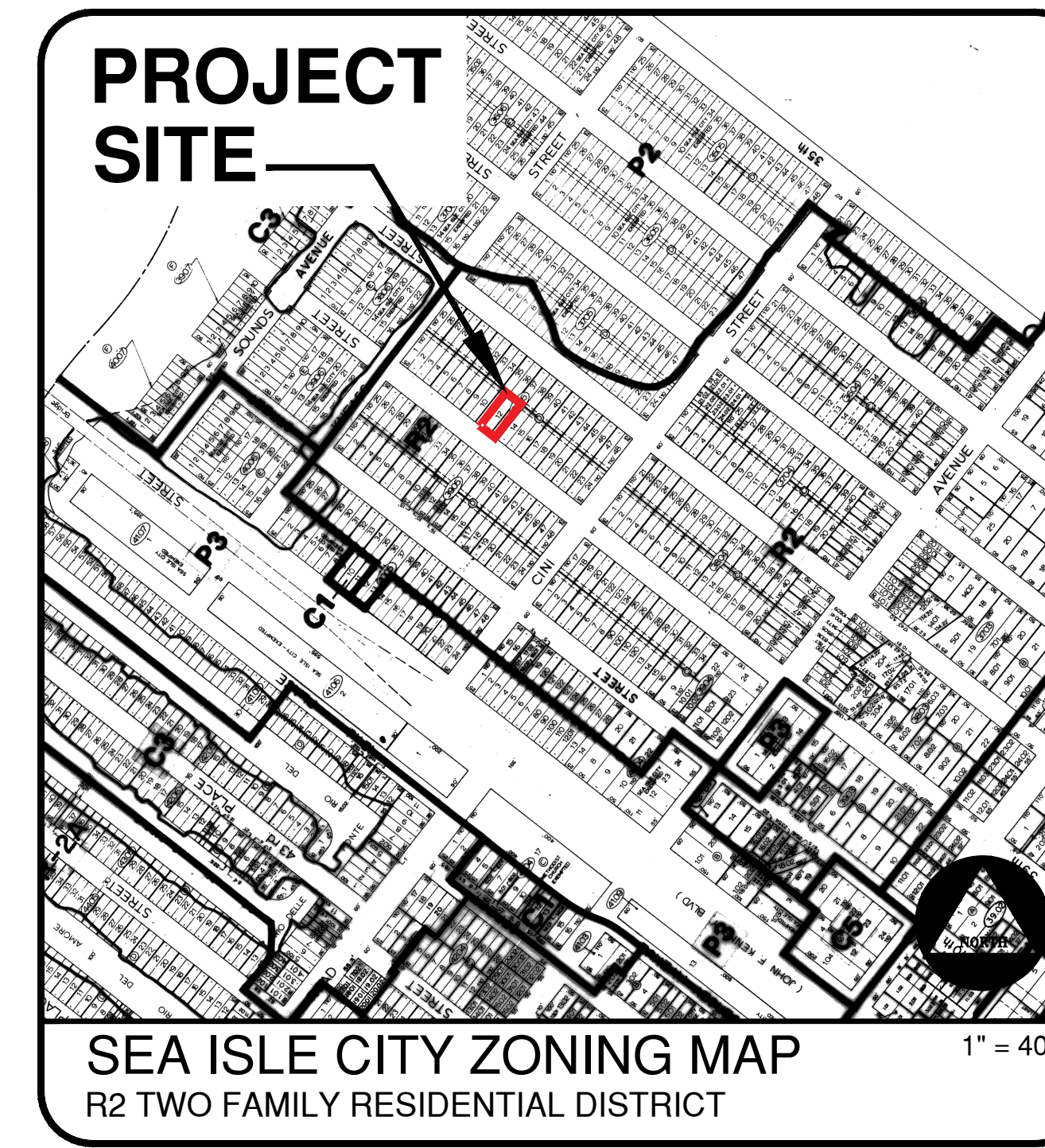
GENERAL LOCATION MAP
(CAPE MAY COUNTY AERIAL) 1" = 100'



SEA ISLE CITY TAX MAP
(SHEET #6) 1" = 100'



U.S.G.S. MAP
(SEA ISLE CITY QUADRANGLE) 1" = 2000'



SEA ISLE CITY ZONING MAP
R2 TWO FAMILY RESIDENTIAL DISTRICT 1" = 400'

PROPERTY OWNERS WITHIN 200' OF BLOCK 39.05 LOT 11.02, 12, & 13.01 SEA ISLE CITY CAPE MAY COUNTY

Address	Owner Name	Phone	City	State	Zip
11.02
12
13.01

PROPERTY OWNERS LIST WITHIN 200'

- GENERAL NOTES**
1. Applicant/Owner: Bob Shrader, 1920 Waters Edge, Pompano Beach, FL 33062, Phone 609-743-8021. Site Location: 315 40th Street, Sea Isle City, NJ 08243.
 2. The project site is known as Block 39.05 Lot 11.02, as shown on the Tax Plate #6 of the Sea Isle City Tax Maps.
 3. The project site is located in the R2 - Two Family Residential District.
 4. The project site consists of an area of 0.111 Acres (4,840 SF).
 5. An existing two story two family dwelling is located on the project site.
 6. It is the intent of the Applicant to demolish the existing two family dwelling and construct a new two family dwelling on the property. One unit will have 6 bedrooms. The other unit will have 5 bedrooms and a den. Each unit will have 2 parking spaces.
 7. The proposed two family dwelling will be serviced by municipal water and sewer.
 8. All concrete curb, sidewalk, pavement disturbed in kind within road rights-of-way are to be repaired in kind.
 9. All traffic signs, other signs, mailboxes, poles and/or safety devices that will be removed during construction are to be reinstalled at the proper location.
 10. The proposed application will require approvals from the following agencies:
 - Sea Isle City Planning Board
 - Cape May County Planning Board

GENERAL NOTES

Outbound, topographic and existing information was taken from a plan entitled "Plan of Survey Lots 11.02, 12 and 13.01, Block 39.05 Sea Isle City Cape May County, New Jersey" dated 12/15/25 and prepared by William F. Seaman N.J.P.L.S. License No. GS-041380 of Gibson Associates, P.A.

SURVEY INFORMATION

Architectural information was taken from a plan entitled "Proposed Two-Family Residence For: Robert Shrader Block 39.05, Lot: 11.02, 12, 13.01 315 40th Street, Sea Isle City, Cape May County, NJ" dated 11/21/25, last revised 2/9/26 and prepared by Arthur J. Sanfilippo N.J.A.I. #13408 of AJS Design.

ARCHITECT INFORMATION

This set of plans has been prepared for purposes of municipal and agency review and approval. This set of plans shall not be utilized as construction documents until all conditions of approval have been satisfied on the drawings and each drawing has been revised to indicate " Issued for Construction."

Contractor shall check and verify all existing utilities, grades, site dimensions and existing conditions before proceeding with construction. Any discrepancies or unusual conditions are to be reported to design engineer/project staff immediately for adjustments or directions.

All construction to be performed in accordance with NJDOT Standard Specifications and supplementary specifications for this project.

These drawings do not include the necessary components for construction safety; however, all construction must be done in compliance with the Occupational Safety and Health Act of 1970 and all rules and regulations appurtenant to this project.

CONTRACTOR NOTES

SCHEDULE OF SHEETS

SHEET NUMBER	ORIGINAL DATE	LAST REVISION DATE
COVER SHEET	2/9/26	-
EXISTING CONDITIONS & SITE/UTILITY PLAN	2/9/26	-
GRADING & DRAINAGE & LANDSCAPE PLAN	2/9/26	-
ENGINEERING DETAILS	2/9/26	-

ZONING INFORMATION
R2 TWO FAMILY RESIDENTIAL DISTRICT
SEA ISLE CITY

Description	Required	Existing	Proposed	Variance
Use	N/A	Two Family Dwelling	Two Family Dwelling	No
Minimum Front Yard Setback	15'	20.3'	15'	No
Minimum Side Yard Setback (Principal Structure)	15' Total, 5' Individual	16' Total, 4.9' Individual *	13' Total, 6.5' Individual	Yes
Minimum Side Yard Setback (Patios, Terraces and Decks)	15' Total, 5' Individual	5.2' Total, 1.3' Individual *	6' Total, 3' Individual	Yes
Minimum Rear Yard Setback (Principal Structure)	20'	48.4'	21'	No
Minimum Rear Yard Setback (Accessory Structures, Patios and Terraces)	5'	5.9'	16'	No
Minimum Lot Area	5,000 SF	4,840 SF	4,840 SF	Yes*
Minimum Lot Width	50'	44'	44'	Yes*
Minimum Lot Depth	100'	110'	110'	No
Maximum Building Height Above LDFE	31'	Unknown	31'	No
Maximum Building Coverage	35%	35%	38.7%	Yes
Maximum Impervious Surface Coverage	70%	55.2%	67.9%	No
Maximum Floor Area Ratio	0.8	0.52 ±	1.16	Yes
Maximum Driveway Width	24'	19.2'	24'	No
Minimum Off-Street Parking	3 Spaces per Unit	1 Space per Unit *	2 Spaces Per Unit	Yes

* Denotes Existing Non-Conforming

- Variations:**
- Section 26-46.5.a. Side Yard. To permit a 13' total of side yard setbacks for a principal structure; where a minimum of 15' total of side yard setbacks is required.
 - Section 26-46.13. Encroachments of Side and Front Yard Setbacks. To permit 3' individual side yard setbacks and a 6' total of side yard setbacks for stairs; where a 5' minimum individual side yard setback and a 15' total of side yard setbacks is required.
 - Section 26-46.7.a. Minimum Lot Area: Dimensions. To permit a lot area of 4,840 SF; where a minimum lot area of 5,000 SF is required.
 - Section 26-46.7.b. Minimum Lot Area: Dimensions. To permit a lot width of 44'; where a minimum lot width of 50' is required.
 - Section 26-46.9. Lot Coverage. To permit a building coverage of 38.7%; where a maximum building coverage of 35% is required.
 - Section 26-46.10.a. Floor Area Ratio. To permit a floor area ratio of 1.16; where a maximum floor area ratio of 0.8 is required.
 - Section 26-23.8.a. Parking Requirements. To permit 2 parking spaces for each dwelling unit with >1,500 SF of gross floor area; where a minimum of 3 spaces per dwelling unit of 1,500 SF or more of gross floor area is required.

- Waivers:**
- Section 26-38.1.a.5. To permit the construction of a stormwater detention structure with less than 2' separation to the seasonal high water table. Separation to groundwater is 2'.

ZONING INFORMATION

SEA ISLE CITY APPROVAL BLOCK

Chairman	_____	Date	_____
Secretary	_____	Date	_____
Engineer	_____	Date	_____

COVER SHEET
BLOCK 39.05 LOT 11.02, 12, & 13.01
SEA ISLE CITY
CAPE MAY COUNTY, NEW JERSEY

VINCENT C. ORLANDO
PROFESSIONAL ENGINEER

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REVISION	DATE	BY

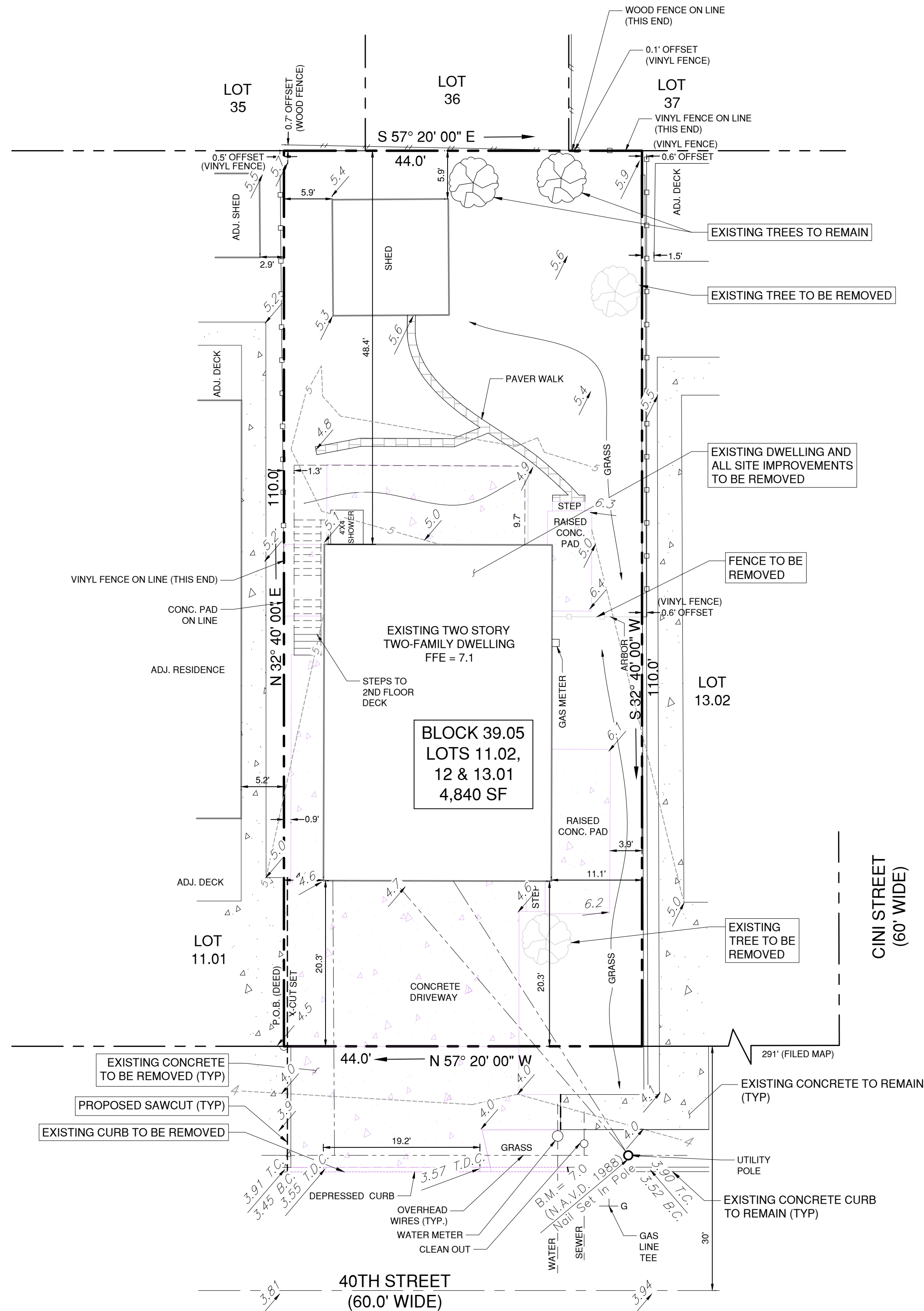


DATE: 2/9/26	DRAWN BY: B.JG
SCALE: AS NOTED	CHECKED BY: VCO
PROJECT #: 10750	SHEET: 1 OF 4

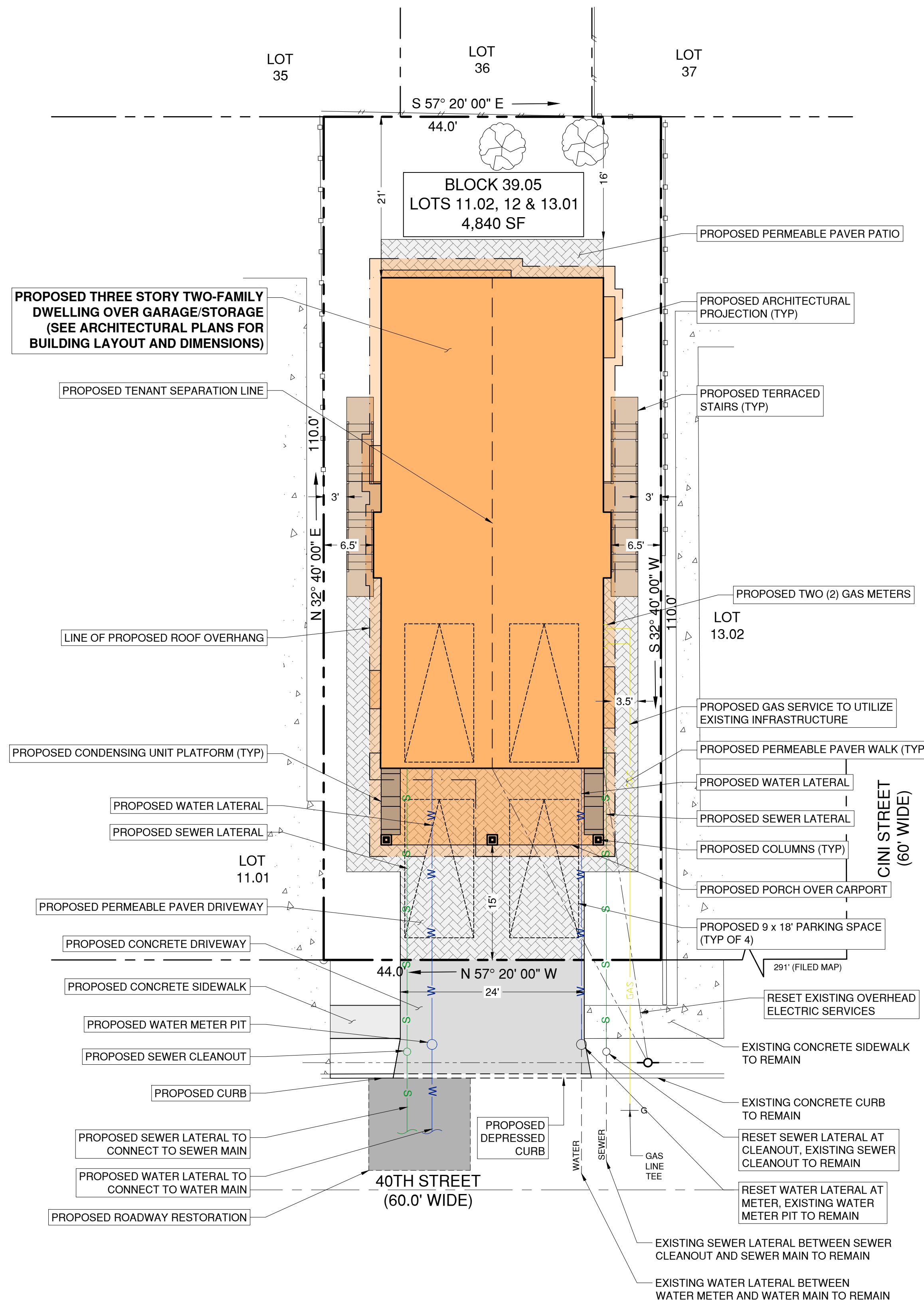
SITE PLAN FOR BOB SHRADER
BLOCK 39.05 LOT 11.02, 12, & 13.01
SEA ISLE CITY
CAPE MAY COUNTY, NEW JERSEY



SITE PHOTOS

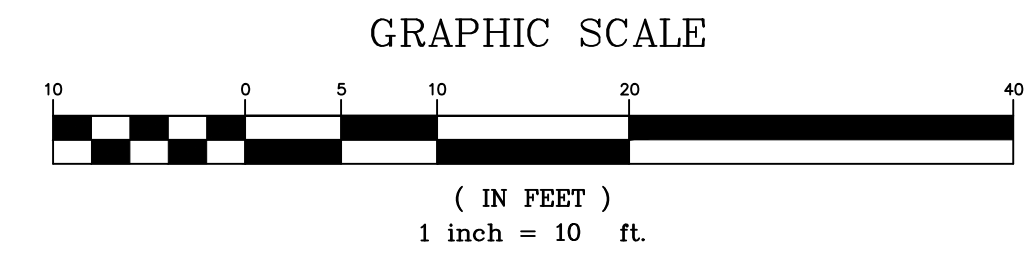
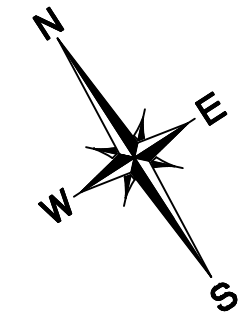
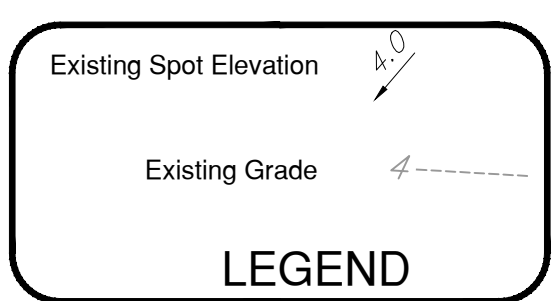


EXISTING CONDITIONS



SITE/UTILITY PLAN

NOTE: EXISTING CURB AND SIDEWALK WITHIN THE RIGHT OF WAY SHALL BE REPLACED AT THE DIRECTION OF THE CITY ENGINEER.



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 Environmental Planners, Landscape Architects
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EXISTING CONDITIONS & SITE/UTILITY PLAN
 BLOCK 39.05 LOT 11.02, 12, & 13.01
 SEA ISLE CITY
 CAPE MAY COUNTY, NEW JERSEY

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REVISION	DATE	BY

EDA

DATE: 2/9/26	DRAWN BY: B.JG
SCALE: 1" = 10'	CHECKED BY: VCO
PROJECT #: 10750	SHEET: 2 OF 4

SOIL BORING #1

DEPTH	DESCRIPTION
0" - 4"	10YR 3/2 Very Dark Grayish Brown, Sandy Loam, Subangular Blocky, Friable
4" - 12"	10YR 5/4 Yellowish Brown, Sand, Single Grain, Loose
12" - 16"	10YR 6/4 Light Yellowish Brown, Sand, Single Grain, Loose with 10% Coarse Fragments
16" - 26"	10YR 6/3 Pale Brown, Sand, Single Grain, Loose with 10% Coarse Fragments
26" - 38"	10YR 5/1 Gray, Sandy Loam, Subangular Blocky, Friable

Depth of Groundwater: 37"
 Date Performed: 12/24/2025
 Performed By: Brenden Gray

SOIL BORING RESULTS

Introduction
 The 4,840 SF property located on 40th Street contains an existing two family dwelling. The applicant intends to demolish the existing improvements and construct a new two family dwelling. A stormwater trench system consisting of 8" perforated PVC pipes surrounded by stone has been proposed to mitigate runoff. The lot has been considered vacant for redevelopment parameters. The stormwater trench system has been designed to detain a volume of runoff greater than both the predevelopment amount and 30% of the post-development amount.

Predevelopment Runoff Calculation
 $Q = CIA$; $C = 0.25$ (Grass Cover), $I = 7.284$ in./hr, $A = 0.111$ AC
 $Q = (0.25)(7.284 \text{ in./hr})(0.111 \text{ AC}) = 0.202$ CFS
 $V = QT$; $T_1 = 2.5(T_2)$; $T_2 = 5$ min.
 $V = (0.202 \text{ CFS})(2.5(5 \text{ min.}))(60 \text{ sec./min.}) = 152$ CF
V = 152 CF Predevelopment

Post-Development Runoff Calculation
 $Q = CIA = (C_1A_1 + C_2A_2 + C_3A_3)$; $C_1 = 0.99$ (Roof & Masonry Stairs), $A_1 = 0.0608$ AC
 $C_2 = 0.3$ (Permeable Pavers), $A_2 = 0.0146$ AC, $C_3 = 0.25$ (Grass Cover), $A_3 = 0.0356$ AC
 $Q = (7.284 \text{ in./hr})(0.99(0.0608 \text{ AC}) + 0.3(0.0146 \text{ AC}) + 0.25(0.0356 \text{ AC})) = 0.535$ CFS
 $V = (0.535 \text{ CFS})(2.5(5 \text{ min.}))(60 \text{ sec./min.}) = 401$ CF
V = 401 CF Post-Development

Required Storage Volume Calculation
 Minimum Storage of 30% = $0.3(401 \text{ CF}) = 120$ CF
 152 CF > 120 CF
Use 152 CF for Volume Storage Requirement

Available Storage Volume Calculation
 6" Pipe @ 176 LF
 $\pi(3/12)^2 \times 176 = 34.6$ CF

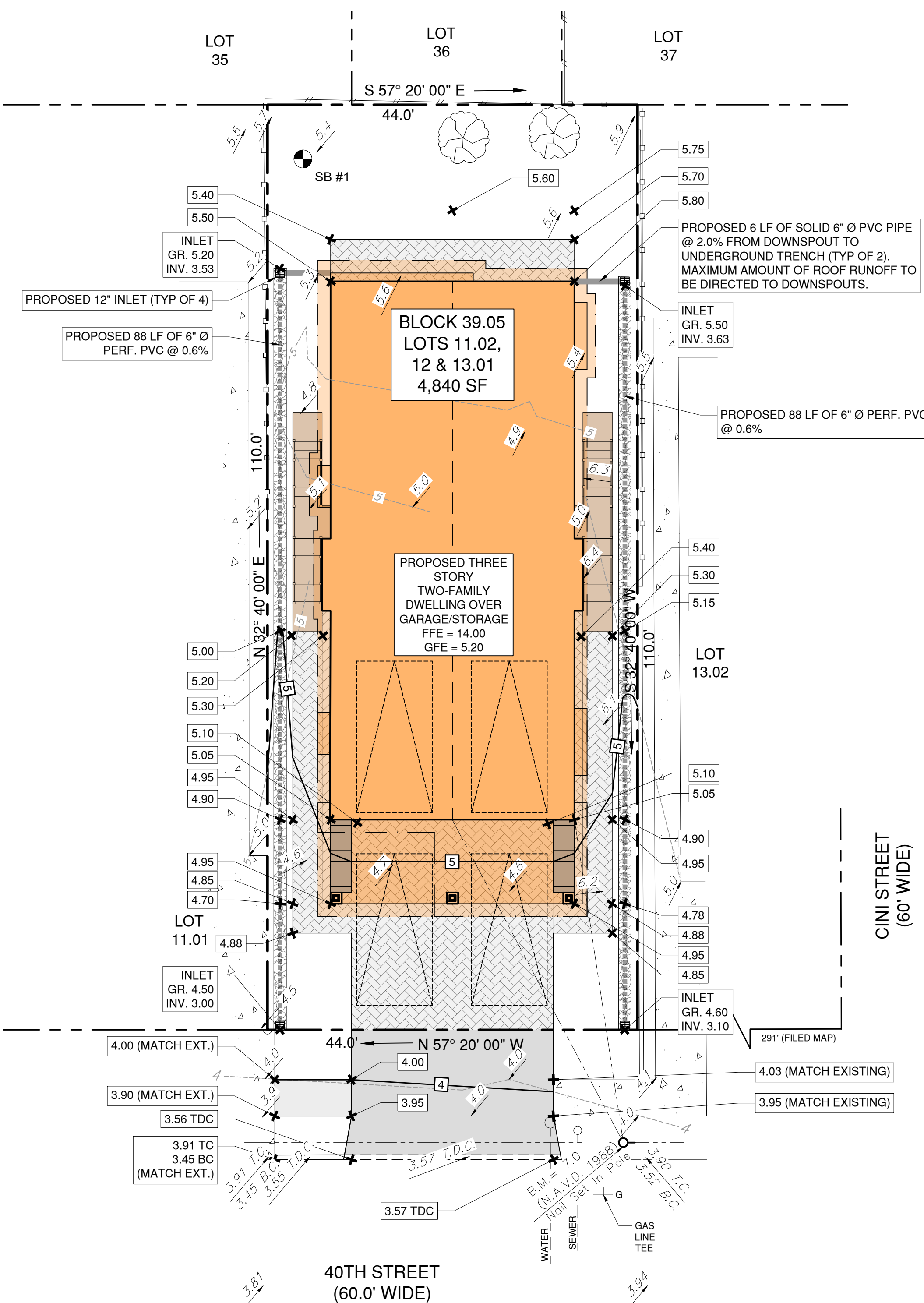
1.5' x 1.5' Stone Trench (176 LF)
 $[(1.5' \times 1.5' \times 176') - 34.6] (0.35) = 126$ CF
Total = 161 CF

Summary:
 The 25 year design storm generates approximately 401 CF of stormwater runoff from all improvements. The infiltration system has been designed to store approximately 161 CF of runoff. If the quantity of runoff exceeds the capacity of the trench, runoff will flow out of the proposed inlets and towards 40th Street, following existing drainage patterns.

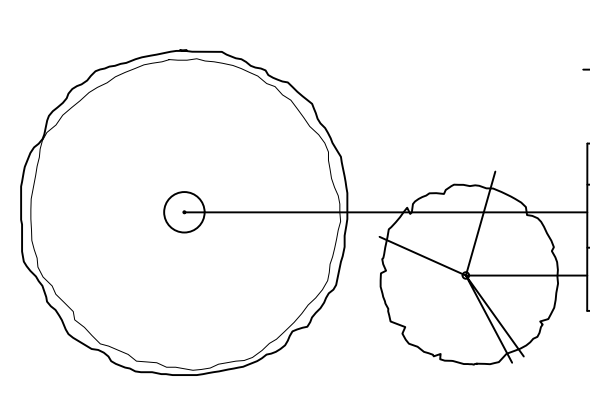
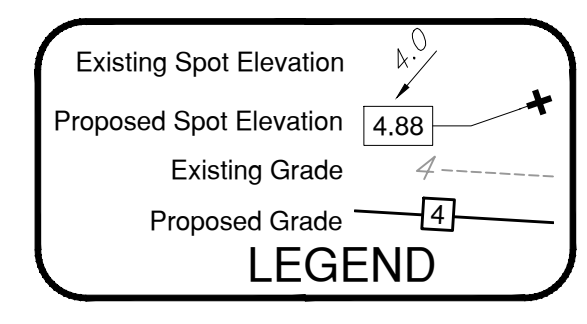
STORMWATER MANAGEMENT CALCULATIONS

- DRAWINGS TO BE SCALED FOR PURPOSES OF LOCATING SOIL BERMS, PLANT MATERIAL, PLANTING BEDS, GROUND COVER AREAS AND OTHER SITE AMENITIES SHOWN. DRAWINGS ARE DIAGRAMATIC; PLANT MATERIAL SUBJECT TO FIELD ADJUSTMENT.
 - ALL PLANT MATERIAL TO BE SET IN PREPARED MULCH BEDS. FINAL BED LINES TO BE APPROVED IN THE FIELD BY THE LANDSCAPE ARCHITECT OR HIS REPRESENTATIVE.
 - LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL PLANT MATERIAL QUANTITIES. ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. PLAN HOLDS PRECEDENT.
- GRASSES**
 AREAS TO BE SEEDED SHALL CONSIST OF THE FOLLOWING SEED MIXTURES TO INSURE A HIGH QUALITY GRASS.
 REBEL II TALL FESCUE - 8 LBS PER 1000 SF
 ECLIPSE KENTUCKY BLUE GRASS - 4 LBS PER 1000 SF
 FERTILIZING AND LIMING SHALL BE COMPLETED PRIOR TO SEEDING LAWN AREAS TWICE PER YEAR.
- PLANTING BED**
 PLANTING BED TO BE CONSTRUCTED AS SHOWN ON DETAIL. BED TO BE CONSTRUCTED USING THE FOLLOWING SPECIFICATIONS OR AN APPROVED EQUAL.
 A. MULCH - BEDS TO BE FILLED WITH A 4" LAYER OF LICORICE ROOT MULCH (RIGHT DRESS INC.)
 B. WEED BARRIER - MULCH TO BE PLACED OVER TERRA TOP LS WEED CONTROL FABRIC OR 4 MIL. BLACK POLYETHYLENE.
 C. EDGING - PLANTING BED TO BE EDGED WITH BLACK DIAMOND POLYETHYLENE BED DIVIDER (VALLEY VIEW SPECIALTIES CO.)

LANDSCAPE NOTES



GRADING & DRAINAGE PLAN



PLANT SCHEDULE

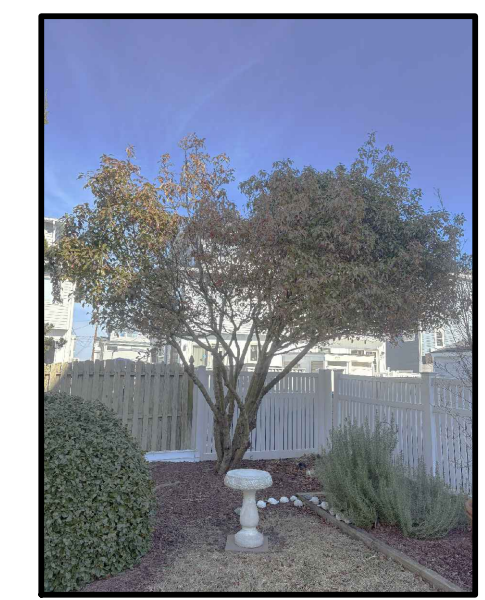
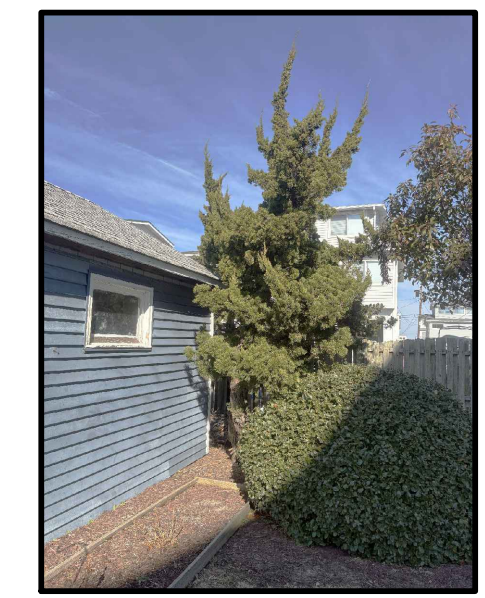
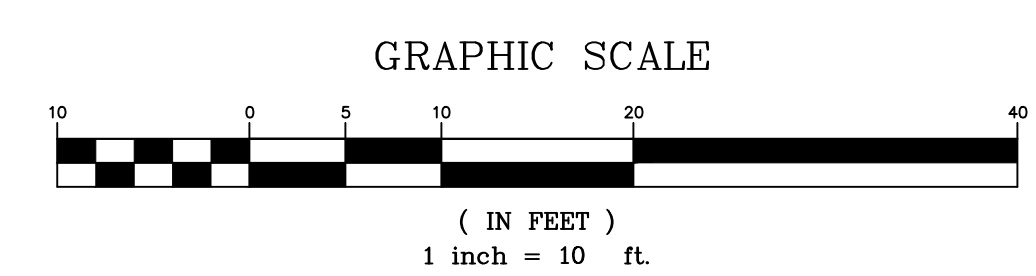
TREES

ABRV	BOTANICAL NAME	COMMON NAME	SIZE	NOTES	QTY
TC	TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LITTLE LEAF LINDEN	6'-7'	B&B	1
AC	AMELANCHIER CANADENSIS	SHADBLow SERVICEBERRY	6'-7'	B&B	2

SHRUBS / GROUND COVER

ABRV	BOTANICAL NAME	COMMON NAME	SIZE	NOTES	QTY
MP	MYRICA PENNSYLVANICA	BAYBERRY	#5	CONT.	6
IG	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY HOLLY	#3	CONT.	3
RR	ROSA RUGOSA	JAPANESE SHORE ROSE	#3	CONT.	16
PV	PANICUM VIRGATUM 'NORTHWIND'	NORTHWIND SWITCH GRASS	#3	CONT.	6
SS	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	#1	CONT.	6

LANDSCAPE PLAN



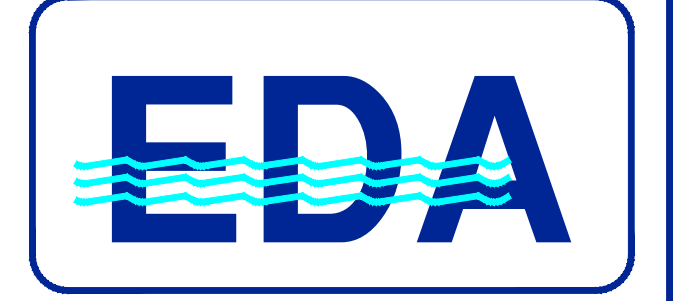
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DRAINAGE & LANDSCAPE PLAN
 BLOCK 39.05 LOT 11.02, 12, & 13.01
 SEA ISLE CITY
 CAPE MAY COUNTY, NEW JERSEY

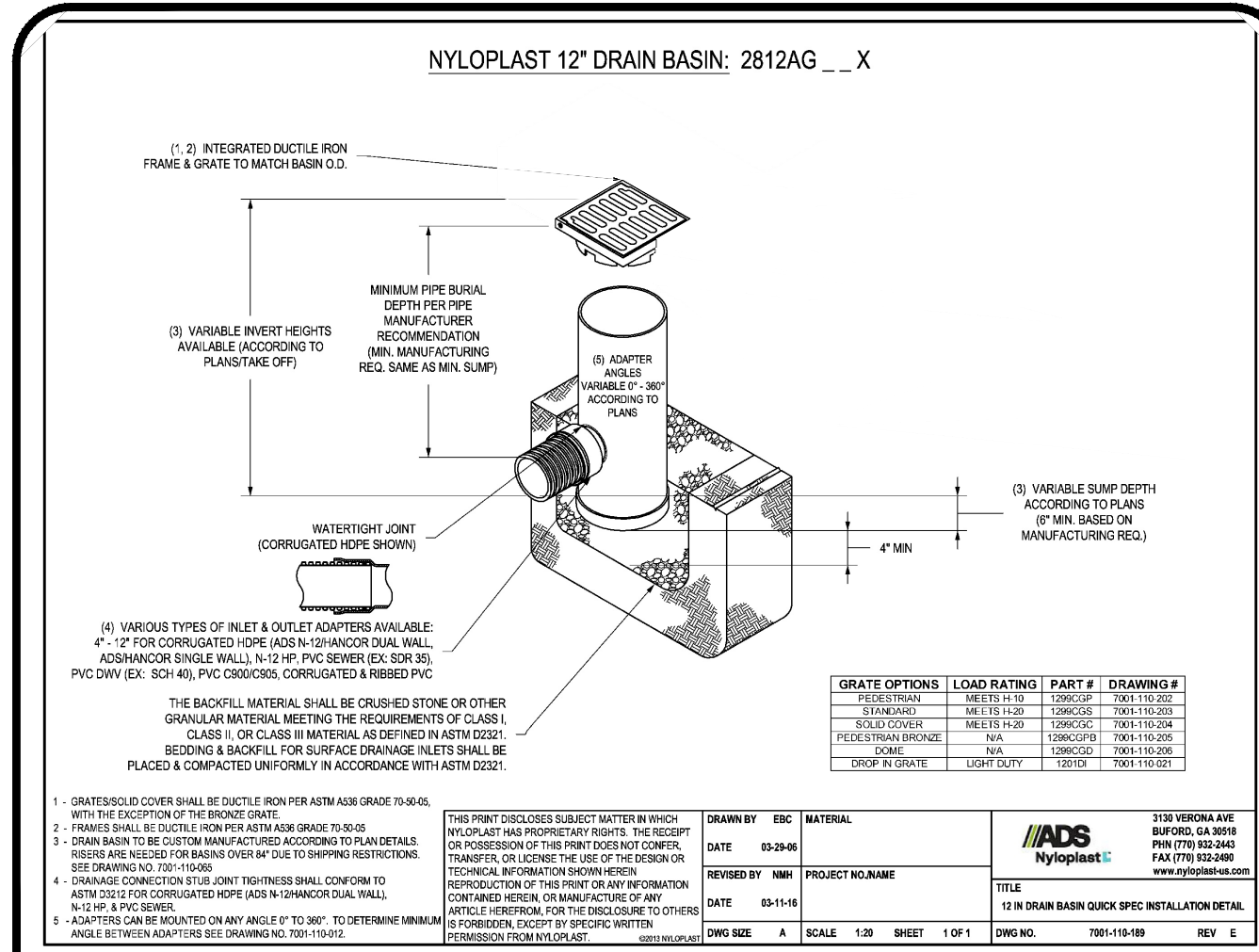
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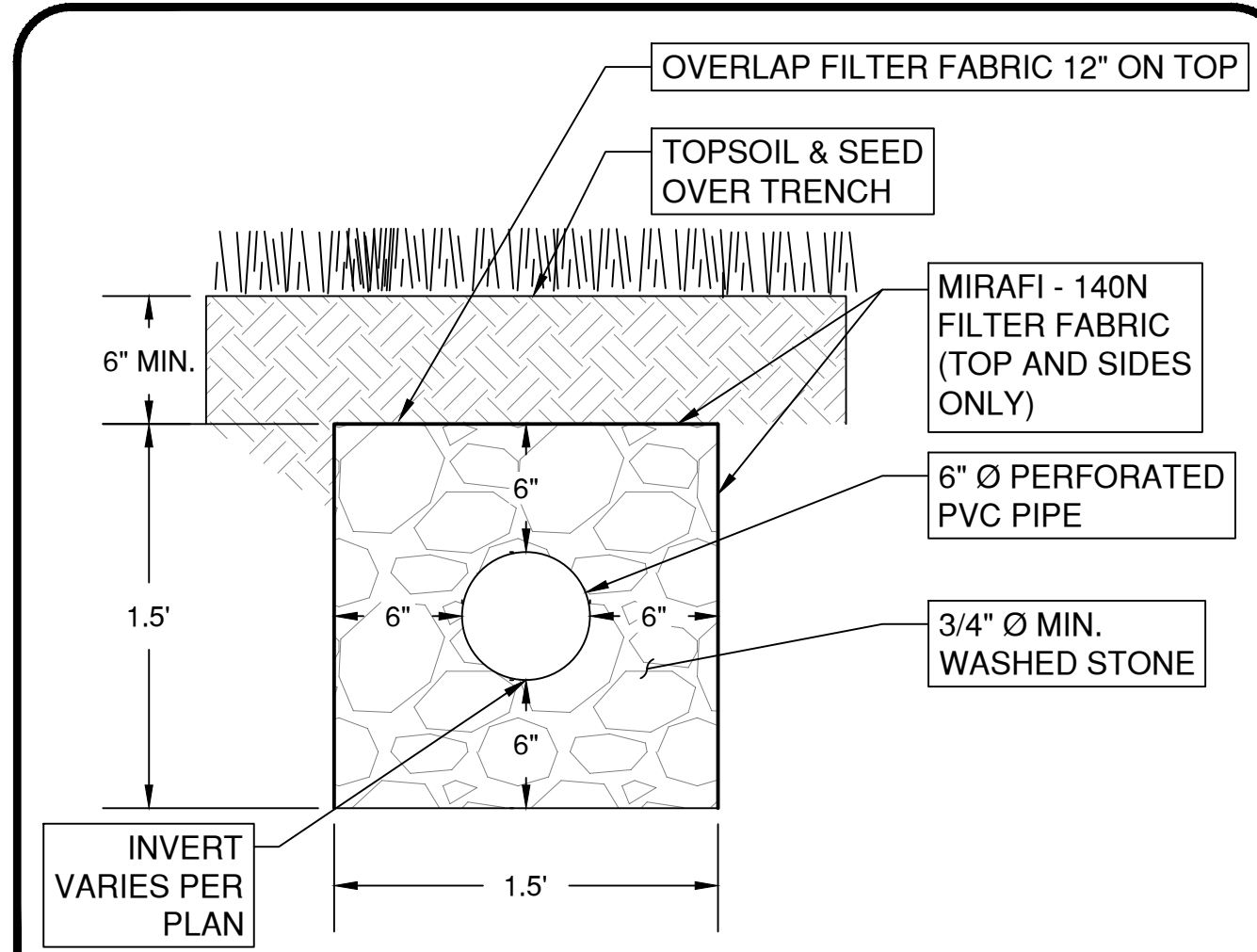
REVISION	DATE	BY



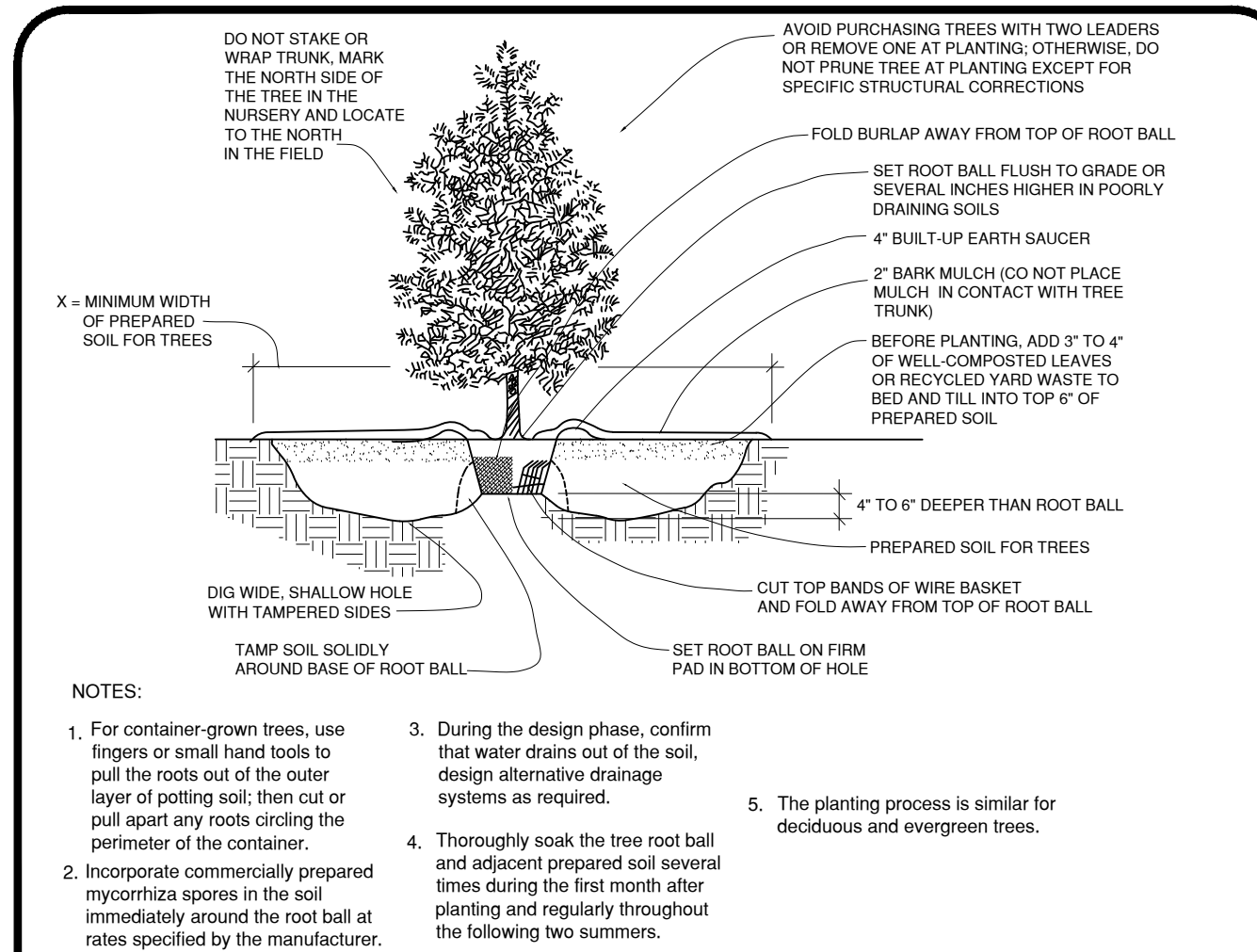
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SCALE: 1" = 10'	CHECKED BY: VCO
PROJECT #: 10750	SHEET: 3 OF 4



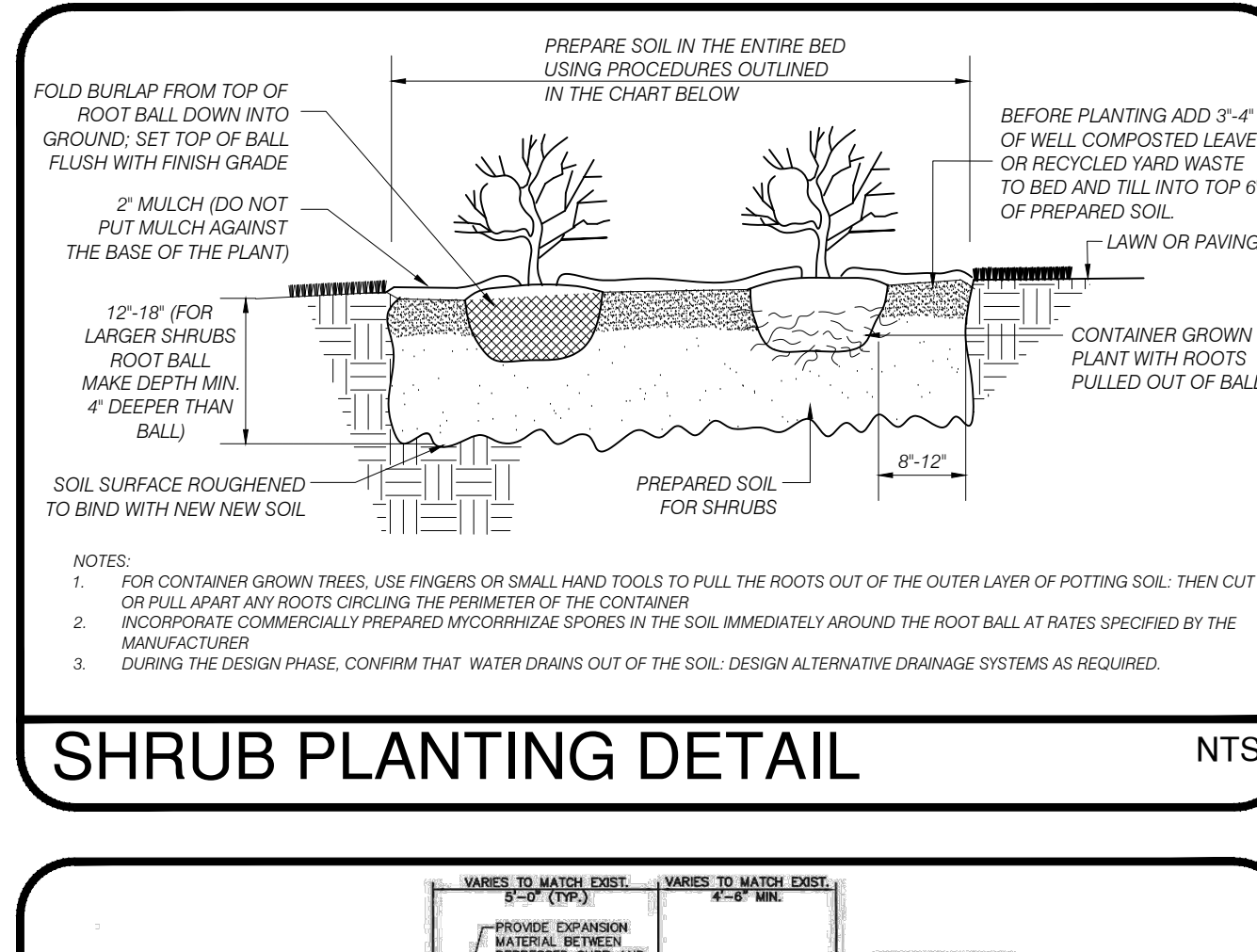
12" INLET DETAIL NTS



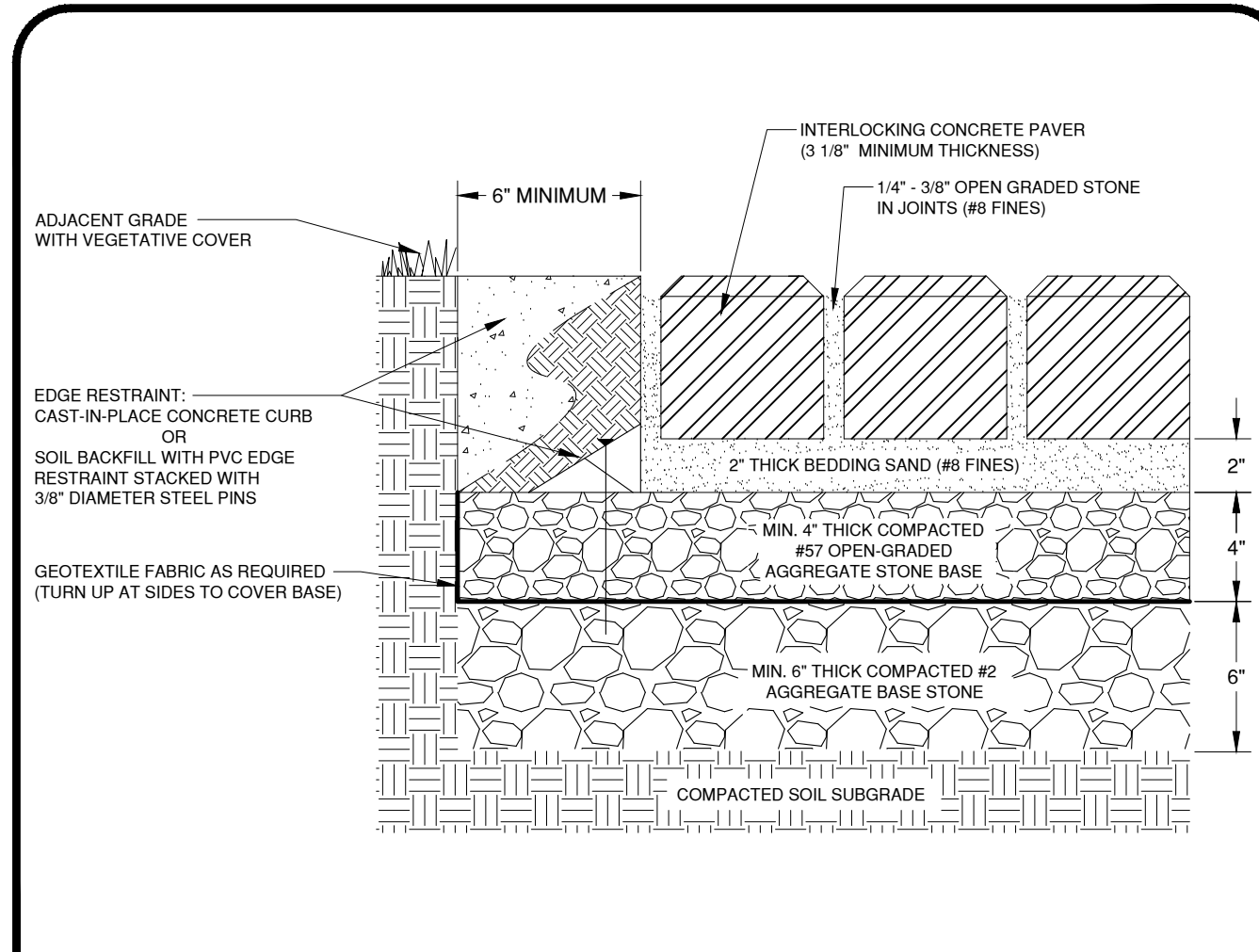
STONE TRENCH DETAIL NTS



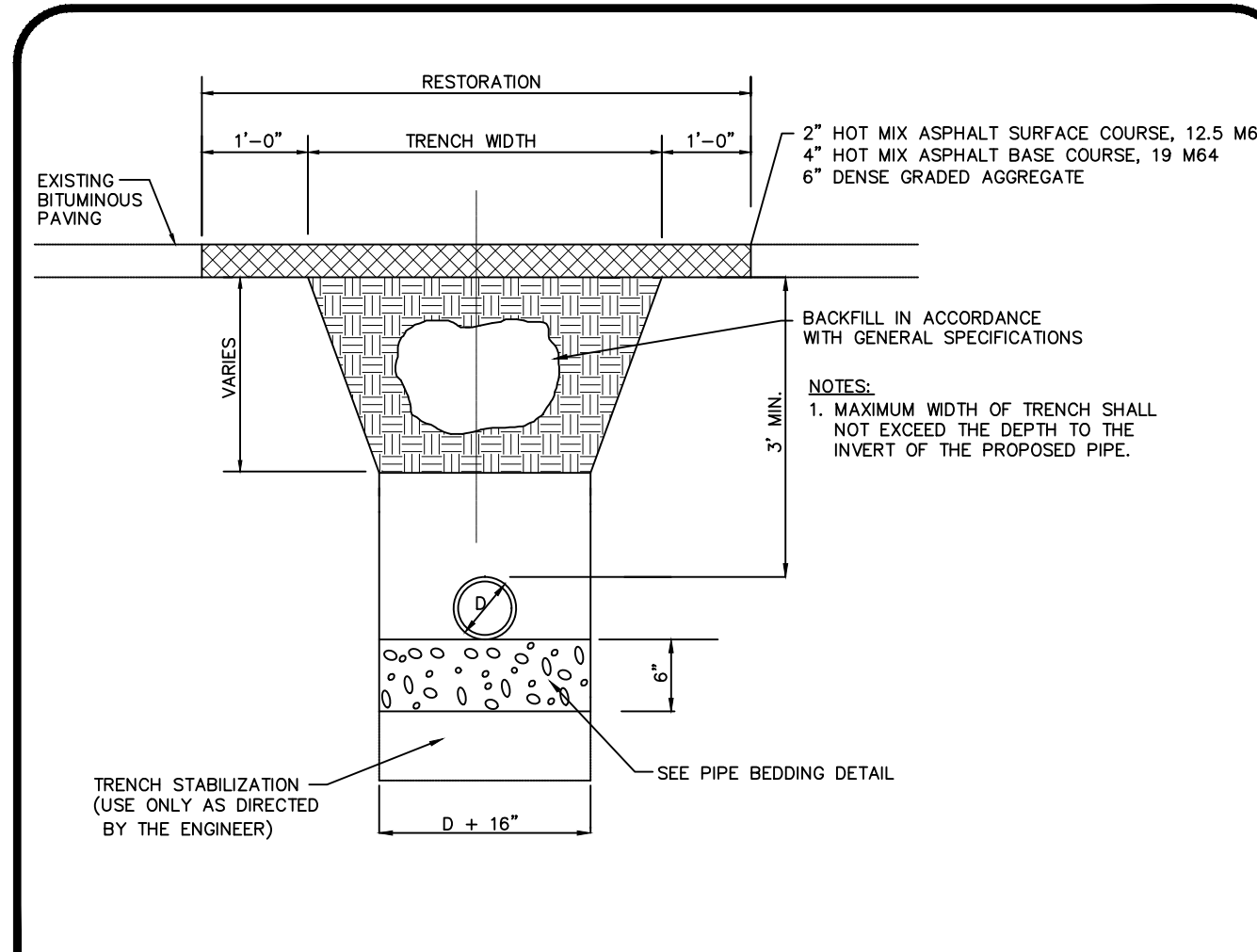
TREE PLANTING DETAIL NTS



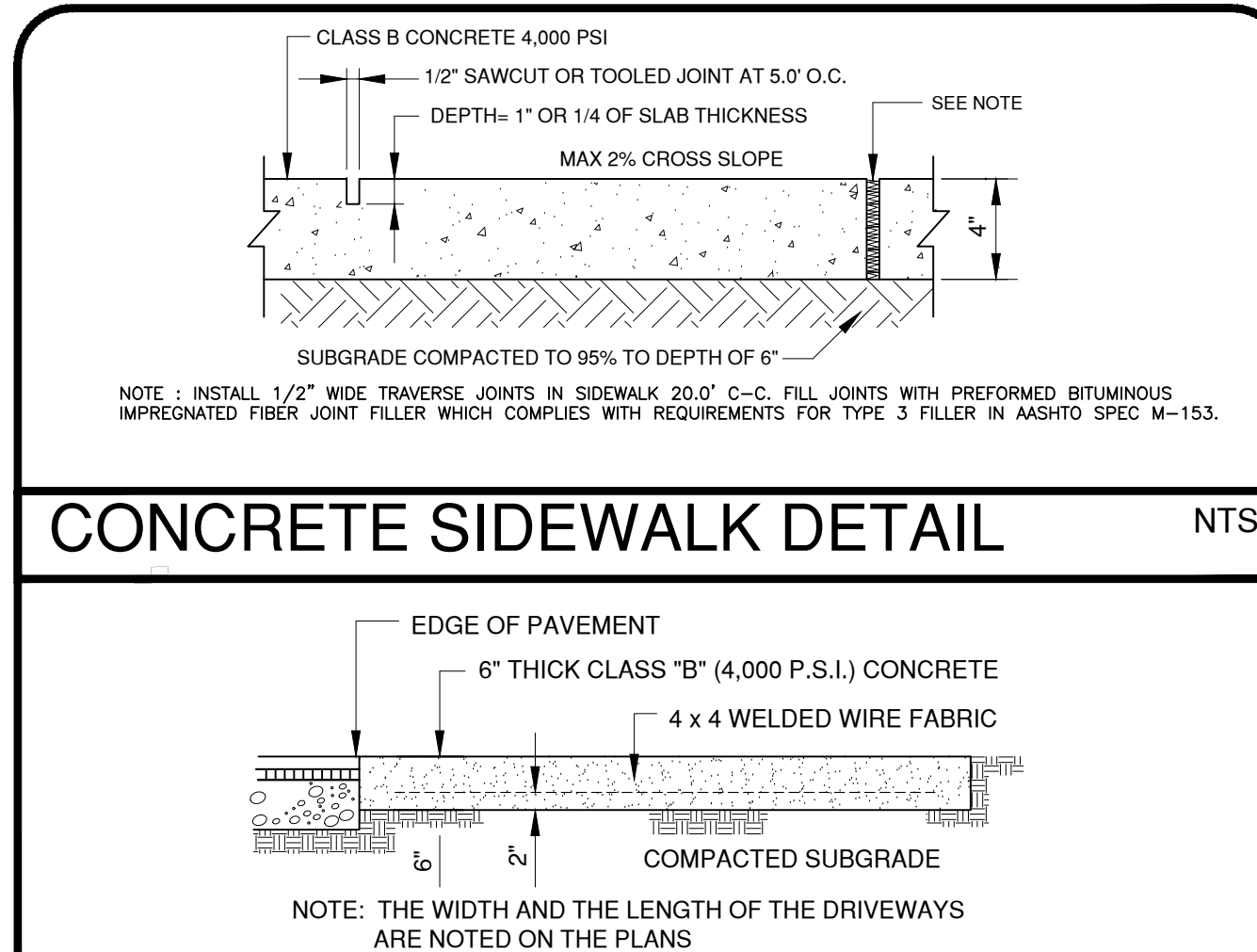
SHRUB PLANTING DETAIL NTS



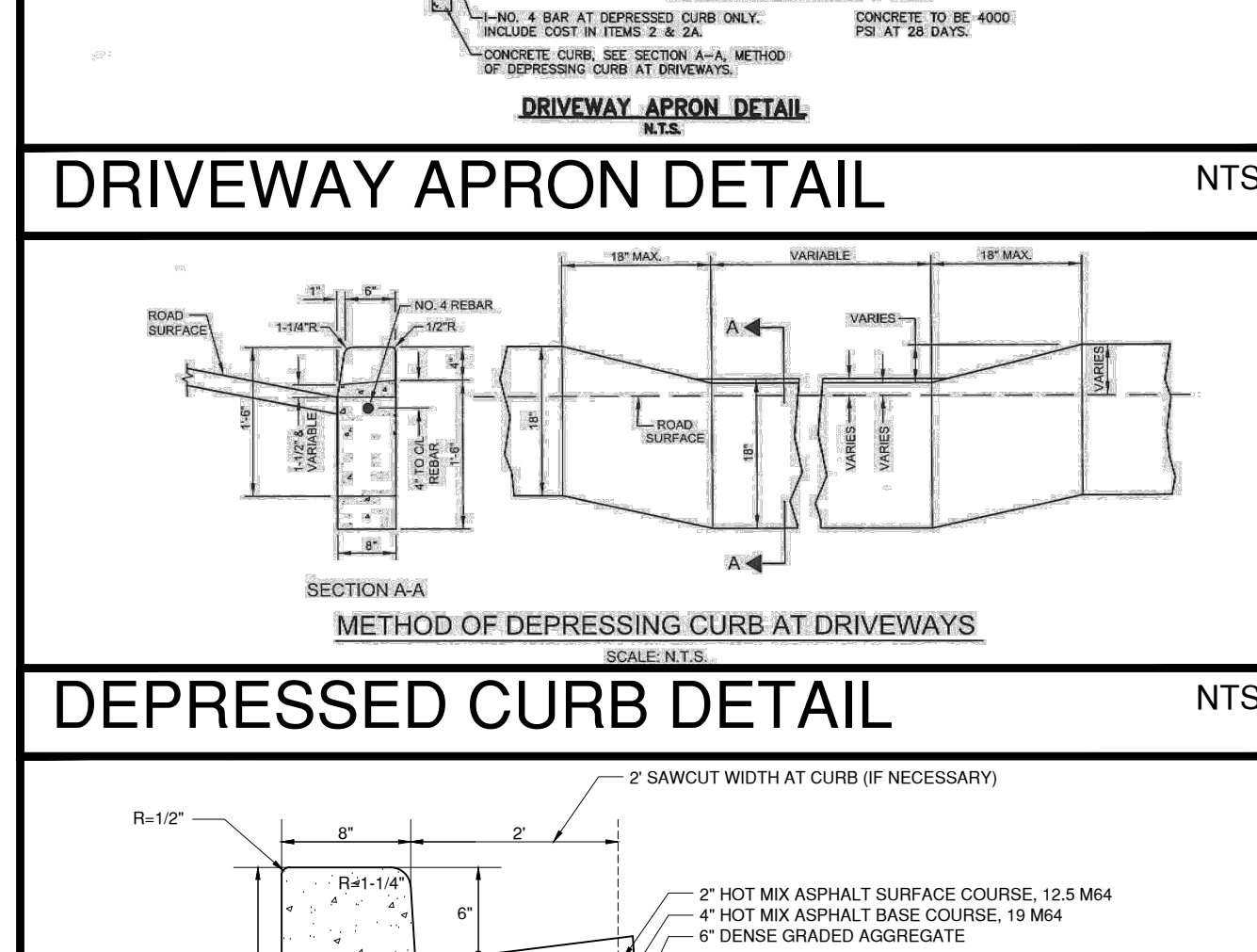
PERMEABLE PAVER DETAIL NTS



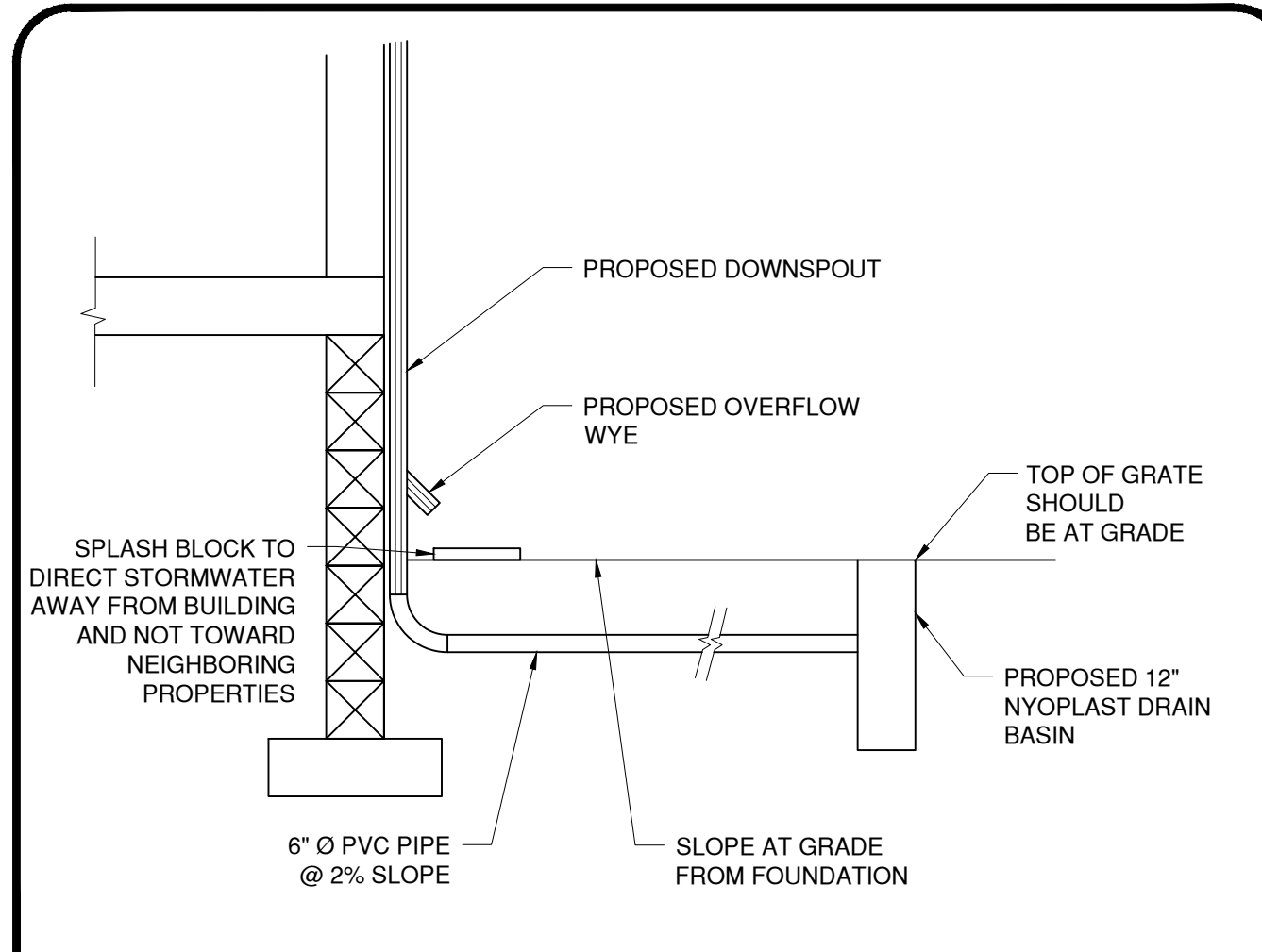
ROADWAY RESTORATION DETAIL NTS



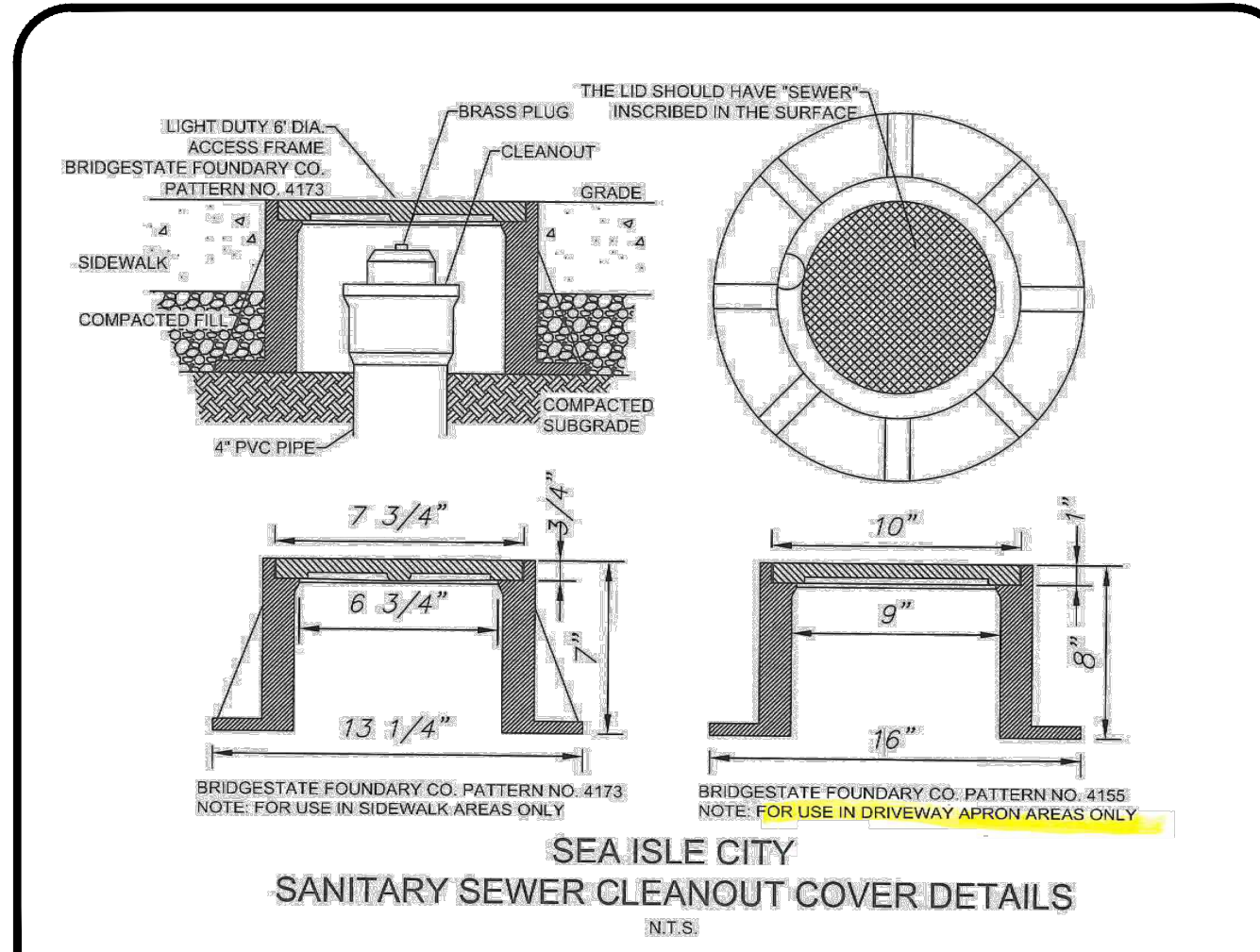
CONCRETE SIDEWALK DETAIL NTS



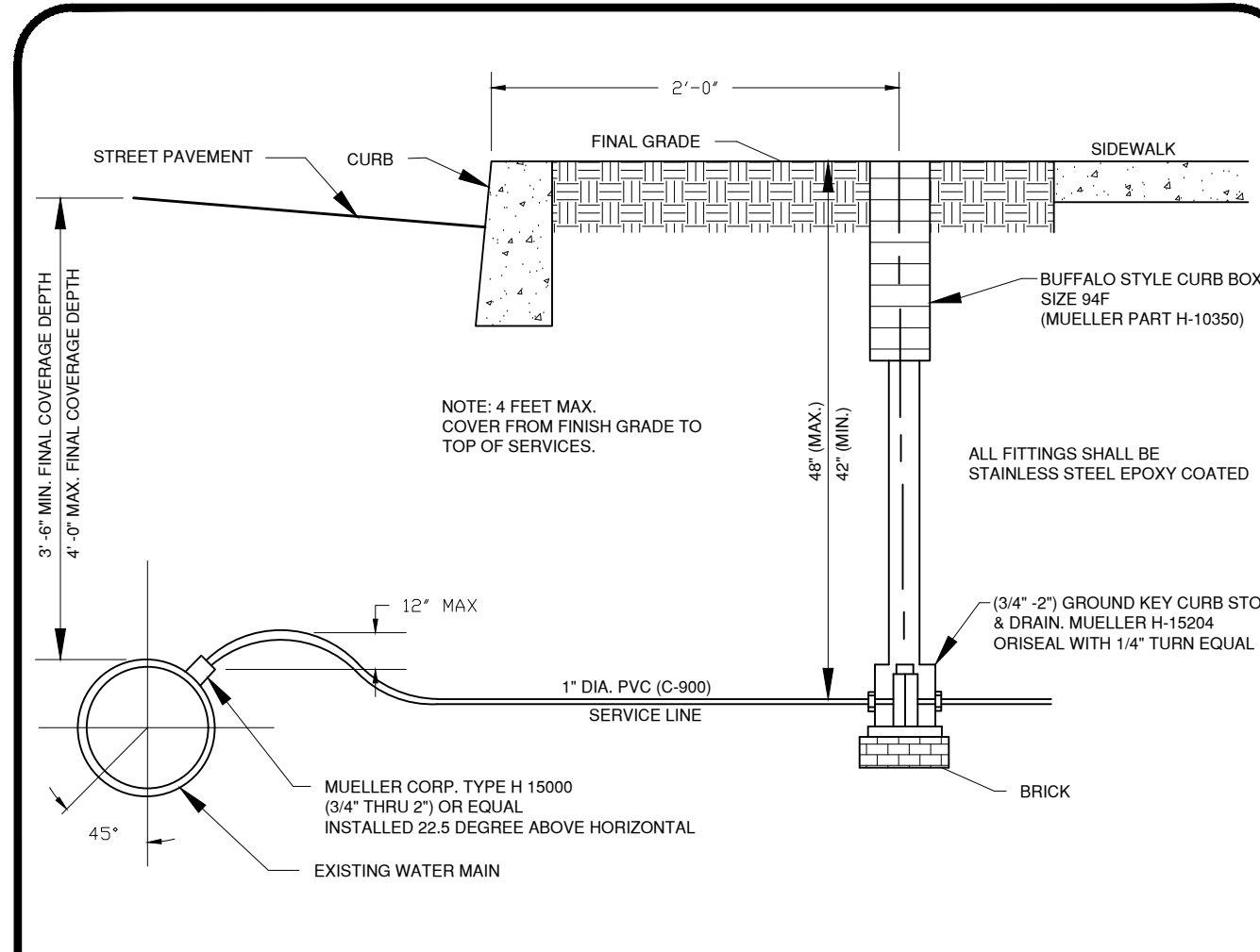
CONCRETE PAVING DETAIL NTS



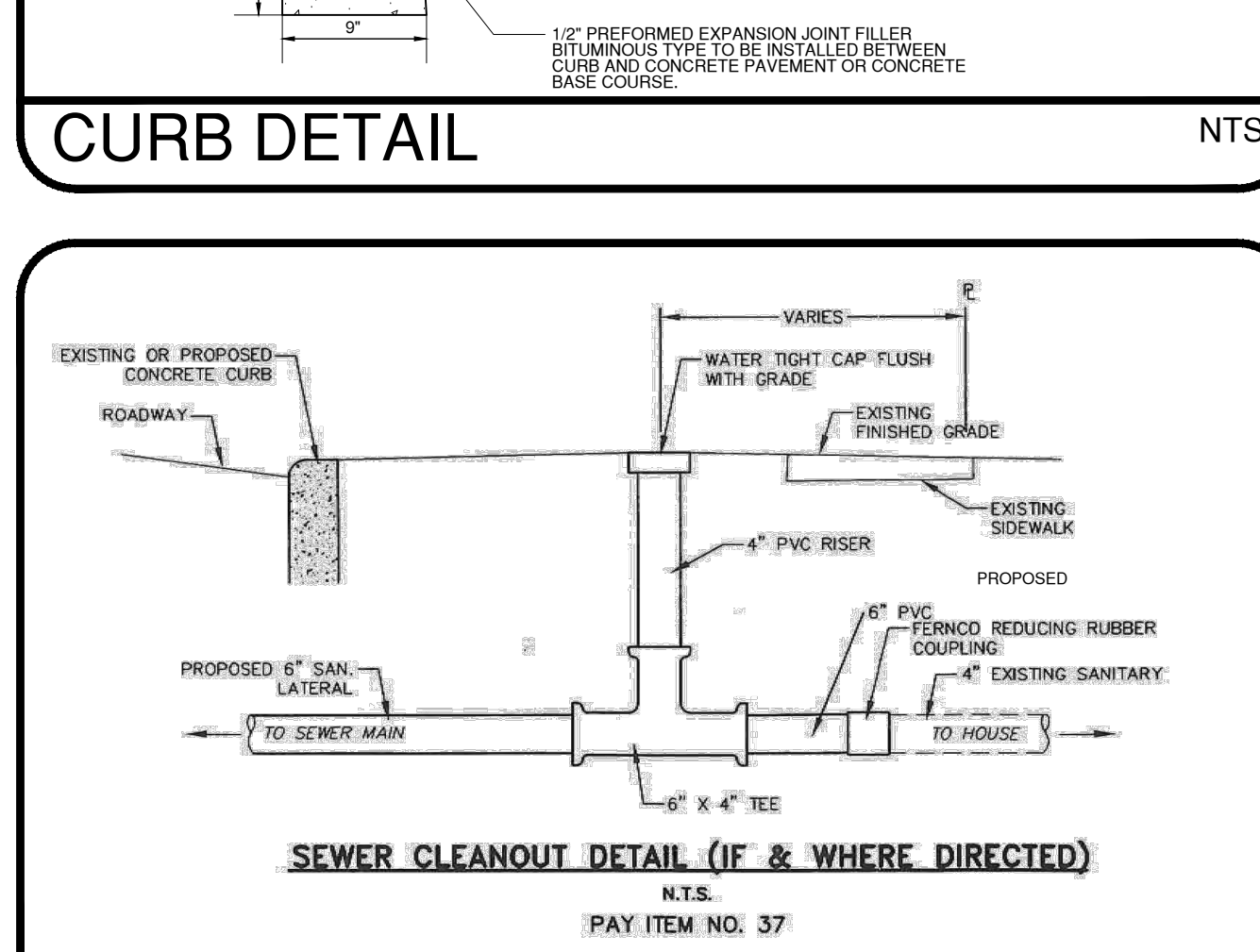
DOWNSPOUT OVERFLOW DETAIL NTS



SEWER CLEANOUT COVER DETAIL NTS



WATER SERVICE DETAIL NTS



SEWER CLEANOUT DETAIL NTS

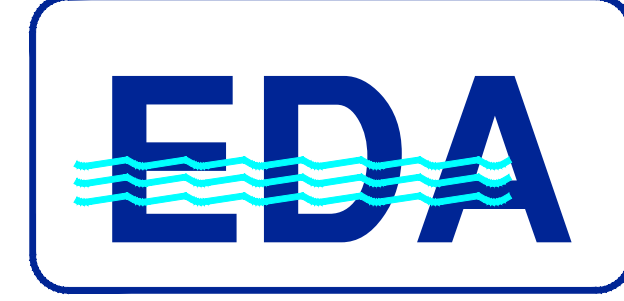
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ENGINEERING DETAILS
 BLOCK 39.05 LOT 11.02, 12, & 13.01
 SEA ISLE CITY
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PROJECT #: 10750	SHEET: 4 OF 4